

PROJECT INFORMATION

Project Information:

2020-050

Stonehaven Lot 3, Burlington Ontario

ALL CONSTRUCTION PRACTICES TO COMPLY WITH THE ONTARIO BUILDING CODE REGULATIONS

This drawing set has been prepared under the

O. Reg 332/12 Ontario Building Code 1992 Amendment Jan 1 2020

CONTRACTOR'S NOTES
ALL CONSTRUCTION PRACTICES TO COMPLY WITH THE 2012 ONTARIO BUILDING CODE REGULATIONS.
ALL DIMENSIONS UNLESS OTHERWISE NOTED.
ALL DIMENSIONS GIVEN IN METRIC UNLESS OTHERWISE NOTED.

5.	Issued for Permit (Reduced porch depth 13")	2020.09.09	E.C.
4.	Issued for Permit	2020.09.09	E.C.
3.	Issued to Consultants (Reduced width and depth)	2020.07.09	E.C.
2.	Customized for lot 1	2020.07.02	E.C.
1.	Issued to Consultants	2020.06.03	E.C.

Virtual Creations Inc. - Energy Efficiency for Housing SB-12 (2017) ZONE 1 <92

COMPONENTS

COMPLIANCE PACKAGE	Attic	Cathedral	Exposed Floor	Walls	Continuous Insulation	Basement	Slab Horizontal	Edge of Slab
	R60	R31	R31	R22	N/A	R20 ci	---	R10
Package A1 Table 3.1.1.2.A (IP) 3.1.1.2.A (IP)	Heated Slab	Skylights	Windows	Glazing Upgrade	Space Heating	HRV	Hot Water	Gray water heat recovery
	R10	.49	25er		96%	75%	.8	42%

SB12 Schedule

SB-12 2.1. METHODS FOR ACHIEVING ENERGY EFFICIENCY COMPLIANCE (CONCLUSION)
 TOTAL WALL AREA = 2803.10 Sq. Ft. TOTAL DOOR GLAZING AREA = 0.00 Sq. Ft.
 TOTAL RSO AREA (NOT INCLUDING BASEMENT WINDOWS) = 439.50 Sq. Ft.
 TOTAL PERCENTAGE = 15.68%

- COMPLY WITH 3.1.1.1.(7) <17%
- COMPLY WITH 3.1.1.1.(8) >17% <22% (UPGRADES HAVE BEEN NOTED)
- COMPLY WITH 3.1.1.1.(9) >22% (ENERGY CONSULTANT MUST BE CONSULTED)

SB-12 2.1. METHODS FOR ACHIEVING ENERGY EFFICIENCY COMPLIANCE - FIRST FLOOR

TOTAL WALL PERIMETER = 162.5'
 WALL HEIGHT FROM GRADE TO CEILING = 9.1
 TOTAL WALL AREA = 1478.75 Sq. Ft.

SB-12 2.1. METHODS FOR ACHIEVING ENERGY EFFICIENCY COMPLIANCE - SECOND FLOOR

TOTAL WALL PERIMETER = 163.5'
 WALL HEIGHT FROM GRADE TO CEILING = 8.1
 TOTAL WALL AREA = 1324.35 Sq. Ft.

BUILDING INFORMATION

Area Calculations

Total Building Area	1541.73 Sq. Ft. (143.23 Sq. m.)
Unfinished Basement Area	617.52 Sq. Ft. (57.37 Sq. m.)
Proposed First Floor Area	1057.95 Sq. Ft. (98.28 Sq. m.)
Garage Area	385.23 Sq. Ft. (35.79 Sq. m.)
Porch Area	80.70 Sq. Ft. (7.50 Sq. m.)
Deck Area	47.06 Sq. Ft. (4.37 Sq. m.)
Proposed Second Floor Area	1447.46 Sq. Ft. (134.47 Sq. m.)

1	Bathroom group* with 6 LPF flush tank	N/A	3.6
2	Bathroom group* with greater than 6 LPF flush	N/A	6
3	Bathtub with or without shower head	1/2	1.4
4	Clothes washer	1/2	1.4
5	Dishwasher, domestic	3/8	1.4
6	Hose bibb (1/2")	1/2	2.5
7	Lavatory	3/8	0.7
8	Shower head	1/2	1.4
9	Shower, spray, multi-head, fixture unit per head	**	1.4
10	Sink, bar	3/8	1
11	Sink, kitchen, domestic	3/8	1.4
12	Sink, laundry (1 or 2 compartments)	3/8	1.4
13	Water closet, 6 LPF or less with flush tank	3/8	2.2
14	Other:		

Room Schedule

Information Not Required

BUILDING INFORMATION

Metric to Imperial Steel Beam Converting

Metric	Imperial	Metric	Imperial	Metric	Imperial	Metric	Imperial	Metric	Imperial
W150x22	W6x15	W200x27	W8x18	W250x33	W10x15	W310x39	W12x26	W360x57	W14x38
W150x30	W6x20	W200x31	W8x21	W250x36	W10x19	W310x43	W12x30		
W150x37	W6x25	W200x36	W8x24	W250x38	W10x22	W310x47	W12x35		
		W200x42	W8x28						
		W200x48	W8x31						
		W200x59	W8x40						

Beam Schedule

Floor	No	Size	Condition	Length	Support
B	100	W200x27	Dropped	15'-7"	3'-3"
F	102	3/2"x8"	Dropped	5'-5"	3'-3"
F	104	3/2"x8"	Dropped	5'-5"	3'-3"
F	103	3/2"x8"	Dropped	14'-3"	3'-3"
F	100	W200x27	Dropped	15'-6"	3'-3"
F	101	W200x42	Dropped	18'-5"	3'-3"
R	101	Girder truss	Flush	35'-11"	3'-3"
R	103	Girder truss	Flush	18'-5"	3'-3"
R	104	Girder truss	Flush	14'-7"	3'-3"
R	102	Girder truss	Flush	28'-11"	3'-3"
R	100	Girder truss	Flush	36'-2"	3'-3"

Pad Footing Schedule

Information Not Required

Window and Door Schedule

Window Schedule							
TAG	SIZE	SB12	OPERATOR	LOCATION	HEIGHT	GRILL	GLAZING
01A	24'x12'	2.0	FIXED	NORTH ELEV	106" ATFW	NONE	Glazing 0.7
01B	24'x44'	7.3	FIXED	NORTH ELEV	94" ATFW	NONE	Glazing 4.7
02A	60'x12'	5.0	FIXED	NORTH ELEV	106" ATFW	NONE	Glazing 2.2
02B	30'x80"	16.7	3/4 GLAZED	NORTH ELEV	94" ATFW	NONE	Glazing 6.3
02C	30'x80"	16.7	3/4 GLAZED	NORTH ELEV	94" ATFW	NONE	Glazing 6.3
03A	24'x12'	2.0	FIXED	NORTH ELEV	106" ATFW	NONE	Glazing 0.7
03B	24'x44'	7.3	FIXED	NORTH ELEV	94" ATFW	NONE	Glazing 4.7
04A	20'x12'	1.7	FIXED	NORTH ELEV	262" ATFW	NONE	Glazing 0.6
04B	40'x28"	7.8	ARCHED	NORTH ELEV	278" ATFW	NONE	Glazing 5.2
04C	20'x12'	1.7	FIXED	NORTH ELEV	262" ATFW	NONE	Glazing 0.6
04D	20'x44'	6.1	CASEMENT	NORTH ELEV	250" ATFW	NONE	Glazing 3.7
04E	40'x44'	12.2	FIXED	NORTH ELEV	250" ATFW	NONE	Glazing 9.0
04F	20'x44'	6.1	FIXED	NORTH ELEV	250" ATFW	NONE	Glazing 3.7
05A	24'x68"	11.3	CASEMENT	NORTH ELEV	226" ATFW	NONE	Glazing 7.7
05B	24'x68"	11.3	FIXED	NORTH ELEV	226" ATFW	NONE	Glazing 7.7
05C	24'x68"	11.3	CASEMENT	NORTH ELEV	226" ATFW	NONE	Glazing 7.7
06A	30'x12'	2.5	FIXED	NORTH ELEV	153" ATFW	NONE	Glazing 1.0
06B	30'x44'	9.2	CASEMENT	NORTH ELEV	141" ATFW	NONE	Glazing 6.3
07B	72'x12'	6.0	FIXED	NORTH ELEV	153" ATFW	NONE	Glazing 2.7
08A	24'x12'	2.0	FIXED	NORTH ELEV	153" ATFW	NONE	Glazing 0.7
08B	24'x12'	2.0	FIXED	NORTH ELEV	153" ATFW	NONE	Glazing 0.7
08C	24'x12'	2.0	FIXED	NORTH ELEV	153" ATFW	NONE	Glazing 0.7
08D	24'x12'	2.0	FIXED	NORTH ELEV	153" ATFW	NONE	Glazing 0.7
08E	24'x12'	11.3	CASEMENT	NORTH ELEV	141" ATFW	NONE	Glazing 7.7
08F	24'x68"	11.3	FIXED	NORTH ELEV	141" ATFW	NONE	Glazing 7.7
08G	24'x68"	11.3	FIXED	NORTH ELEV	141" ATFW	NONE	Glazing 7.7
08H	24'x68"	11.3	CASEMENT	NORTH ELEV	141" ATFW	NONE	Glazing 7.7
09A	24'x36"	6.0	CASEMENT	NORTH ELEV	42" ATFW	NONE	Glazing 3.7
09B	24'x36"	6.0	FIXED	NORTH ELEV	42" ATFW	NONE	Glazing 3.7
09C	24'x36"	6.0	FIXED	NORTH ELEV	42" ATFW	NONE	Glazing 3.7
10A	24'x56"	9.3	CASEMENT	NORTH ELEV	262" ATFW	NONE	Glazing 6.2
10B	24'x56"	9.3	FIXED	NORTH ELEV	262" ATFW	NONE	Glazing 6.2
10C	24'x56"	9.3	FIXED	NORTH ELEV	262" ATFW	NONE	Glazing 6.2
11A	24'x56"	9.3	CASEMENT	NORTH ELEV	262" ATFW	NONE	Glazing 6.2
11B	24'x56"	9.3	FIXED	NORTH ELEV	262" ATFW	NONE	Glazing 6.2
11C	24'x56"	9.3	FIXED	NORTH ELEV	262" ATFW	NONE	Glazing 6.2
12A	24'x12'	2.0	FIXED	NORTH ELEV	106" ATFW	NONE	Glazing 0.7
12B	24'x44'	7.3	FIXED	NORTH ELEV	94" ATFW	NONE	Glazing 4.7
13A	60'x12'	5.0	FIXED	NORTH ELEV	106" ATFW	NONE	Glazing 2.2
13B	30'x80"	16.7	3/4 GLAZED	NORTH ELEV	94" ATFW	NONE	Glazing 6.3
13C	30'x80"	16.7	3/4 GLAZED	NORTH ELEV	94" ATFW	NONE	Glazing 6.3
14A	24'x12'	2.0	FIXED	NORTH ELEV	106" ATFW	NONE	Glazing 0.7
14B	24'x44'	7.3	FIXED	NORTH ELEV	94" ATFW	NONE	Glazing 4.7
15A	24'x68"	11.3	CASEMENT	NORTH ELEV	226" ATFW	NONE	Glazing 7.7
15B	24'x68"	11.3	FIXED	NORTH ELEV	226" ATFW	NONE	Glazing 7.7
15C	24'x68"	11.3	CASEMENT	NORTH ELEV	226" ATFW	NONE	Glazing 7.7
16A	24'x44'	7.3	FIXED	NORTH ELEV	262" ATFW	NONE	Glazing 4.7
17A	24'x68"	11.3	CASEMENT	NORTH ELEV	262" ATFW	NONE	Glazing 7.7
17B	24'x68"	11.3	FIXED	NORTH ELEV	262" ATFW	NONE	Glazing 7.7
18A	24'x12'	2.0	FIXED	NORTH ELEV	106" ATFW	NONE	Glazing 0.7
18B	24'x44'	7.3	FIXED	NORTH ELEV	94" ATFW	NONE	Glazing 4.7
19A	60'x12'	5.0	FIXED	NORTH ELEV	106" ATFW	NONE	Glazing 2.2
19B	12'x80"	6.7	FIXED	NORTH ELEV	94" ATFW	NONE	Glazing 3.1
19C	36'x80"	16.7	3/4 GLAZED	NORTH ELEV	94" ATFW	NONE	Glazing 9.0
19D	12'x80"	6.7	FIXED	NORTH ELEV	94" ATFW	NONE	Glazing 3.1
20A	24'x12'	2.0	FIXED	NORTH ELEV	106" ATFW	NONE	Glazing 0.7
20B	24'x44'	7.3	FIXED	NORTH ELEV	94" ATFW	NONE	Glazing 4.7
22A	24'x68"	11.3	CASEMENT	NORTH ELEV	225" ATFW	NONE	Glazing 7.7
22B	24'x68"	11.3	FIXED	NORTH ELEV	225" ATFW	NONE	Glazing 7.7
22C	24'x68"	11.3	CASEMENT	NORTH ELEV	225" ATFW	NONE	Glazing 7.7
23A	24'x56"	9.3	CASEMENT	NORTH ELEV	262" ATFW	NONE	Glazing 6.2
23B	24'x56"	9.3	FIXED	NORTH ELEV	262" ATFW	NONE	Glazing 6.2
23C	24'x56"	9.3	FIXED	NORTH ELEV	262" ATFW	NONE	Glazing 6.2
7A	70'x80"	32.0	Patio Slider	NORTH ELEV	143" ATFW	NONE	Glazing 32.0
		539.5000					

Designed By:

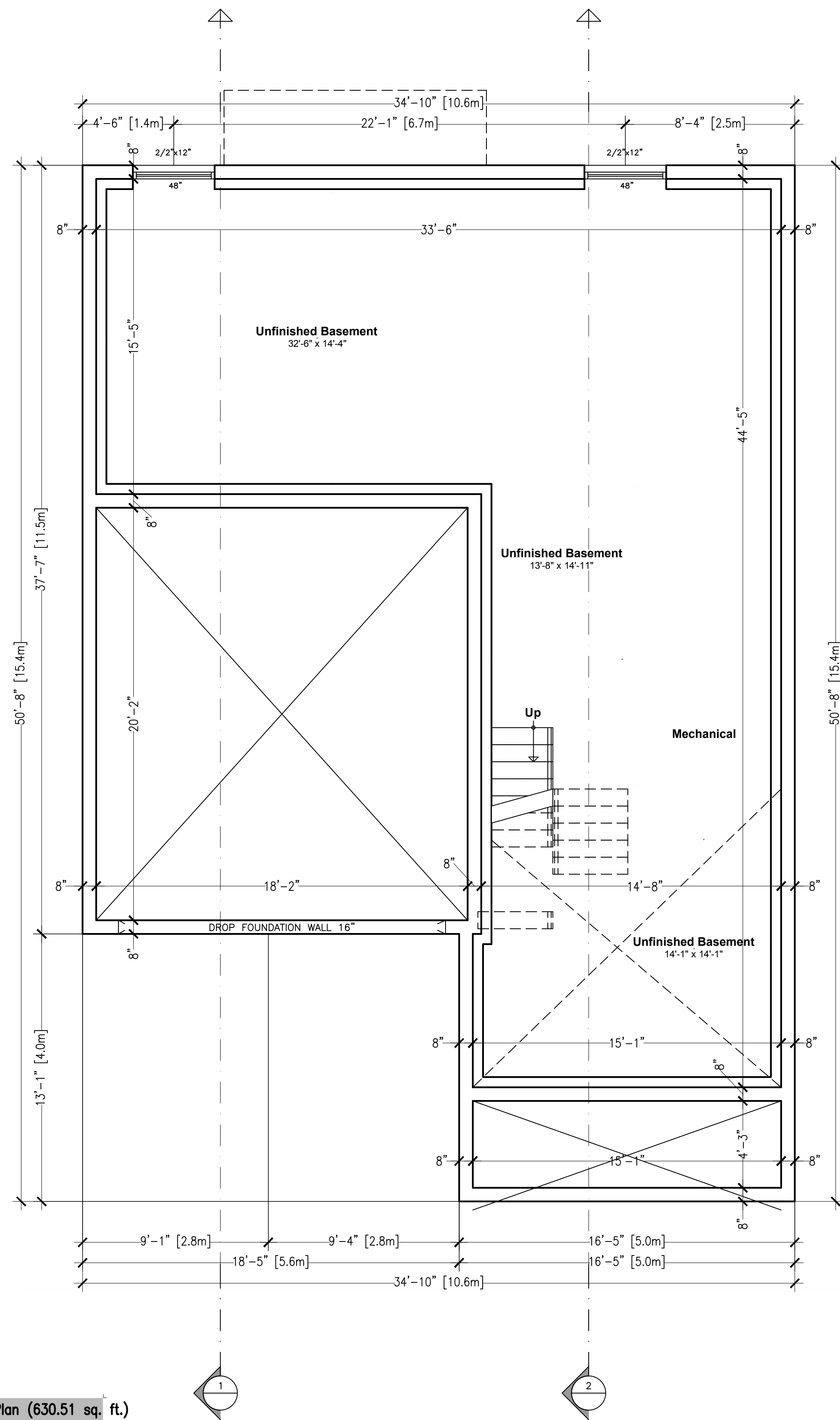
Kimberley

LALONDE HOME DESIGN

THE COURTLAND (Lot 03) (#2445)

VIRTUAL CREATIONS INC. (905) 481-1153
 PROJECT: Stonehaven Lot 3, Burlington Ontario
 Client: Dawn Victoria Homes
 Classification: 28844
 B.O.I.N. No. BCIN#25135
 ERIC CANTON
 WWW.VCINC.CA
 Original Signature: *Eric Cantan*
 SMALL BUILDINGS
 AT VIRTUAL CREATIONS INC. THE BEST EFFORT HAS BEEN MADE TO RECORD EXISTING BUILDING STRUCTURES AND PROPOSED CONSTRUCTION DRAWINGS. HOWEVER, THERE ARE AREAS THAT ARE UNAVAILABLE OR INACCESSIBLE. WITH PROPER COORDINATION WITH THE CLIENT, THESE AREAS WILL BE VISITED TO VERIFY DIMENSIONS AND TO IDENTIFY ANY DISCREPANCIES. VIRTUAL CREATIONS INC. IS NOT RESPONSIBLE FOR ANY DISCREPANCIES OR SUBSTITUTIONS FOR REVIEW BEFORE COMMENCING CONSTRUCTION. ALL DESIGNS AND DRAWINGS ARE THE SOLE PROPERTY AND COPYRIGHT OF VIRTUAL CREATIONS INC. ANY REPRODUCTIONS MUST BE AUTHORIZED BY VIRTUAL CREATIONS INC. OR PURCHASED THROUGH VIRTUAL CREATIONS INC. DIRECTLY.
 ISSUED: Feb 11 2021

Foundation Floor Plan (630.51 sq. ft.)
 SCALE 1/4" = 1'-0"

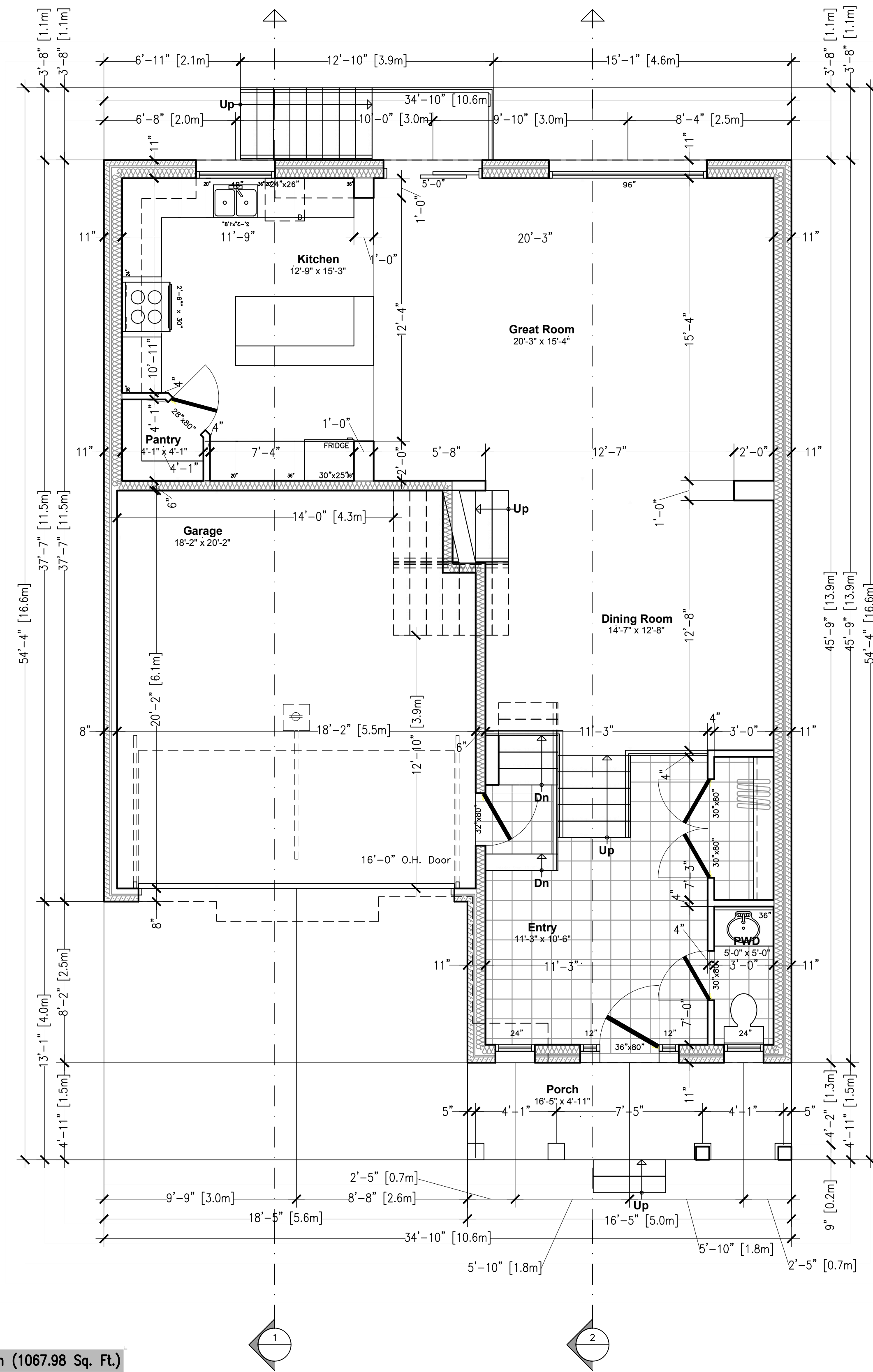


THE COURTLAND (Lot 03) (#2445)

VIRTUAL CREATIONS INC. PROJECT: Stonehaven Lot 3, Burlington Ontario
 (905) 481 1153 BCIN No. 28844 Client: Dawn Victoria Homes Classification:
 ERIC CANTON BCIN#25135 Original Signature: ELL
WWW.VCINC.CA

AT VIRTUAL CREATIONS INC. THE BEST EFFORT HAS BEEN MADE TO RECORD EXISTING BUILDING STRUCTURES AND PROPOSED A COMPREHENSIVE SET OF CONSTRUCTION DRAWINGS. HOWEVER, THERE ARE AREAS AT THE TIME OF DESIGNING THAT ARE UNAVAILABLE OR INACCESSIBLE. WITH PROPER CO-ORDINATION WITH THE CLIENT, THE DESIGNER WILL ATTEMPT TO OBTAIN THE NECESSARY INFORMATION TO COMPLETE THE DRAWINGS. THE DESIGNER WILL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES OR OMISSIONS IN THE DRAWINGS. THE CLIENT IS ADVISED TO VERIFY ALL DIMENSIONS AND LOCATIONS OF EXISTING STRUCTURES AND SERVICES PRIOR TO FABRICATION. DETERMINE LOCATIONS OF EXISTING SERVICES IN FORM VIRTUAL CREATIONS INC. OF ANY CHANGES, DISCREPANCIES OR SUBSTITUTIONS FOR REVIEW BEFORE COMMENCING CONSTRUCTION. ALL DESIGNS AND DRAWINGS ARE THE SOLE PROPERTY AND COPYRIGHT OF VIRTUAL CREATIONS INC. ANY REPRODUCTIONS MUST BE AUTHORIZED BY VIRTUAL CREATIONS INC OR PURCHASED THROUGH VIRTUAL CREATIONS INC DIRECTLY.

First Floor Plan (1067.98 Sq. Ft.)
SCALE 1/4" = 1'-0"



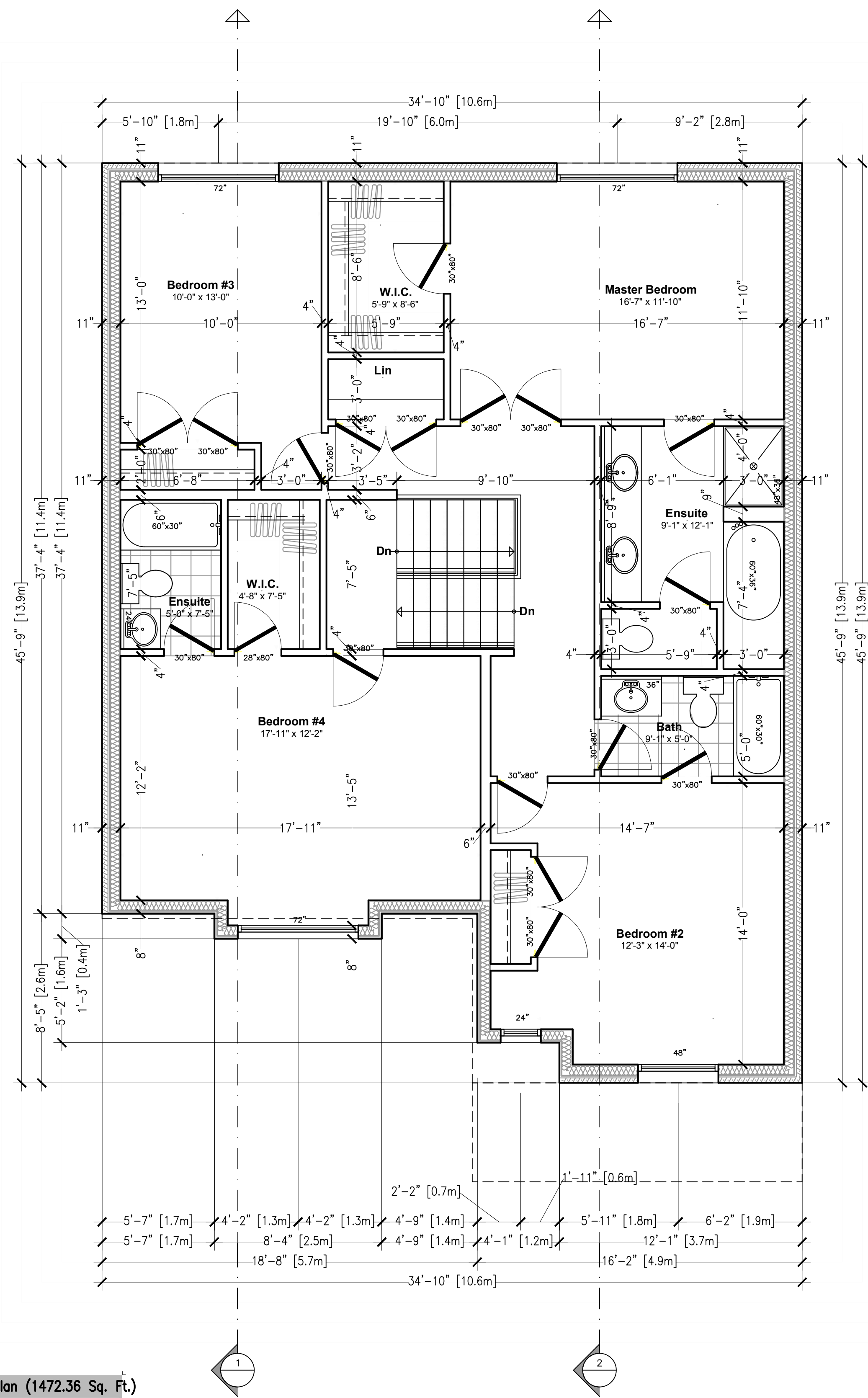
THE COURTLAND (Lot 03) (#2445)

VIRTUAL CREATIONS INC. PROJECT No:2020-550
(905) 481 1153 BCIN No. 28844
ERIC CANTON BCIN#25135

PROJECT: Stonehaven Lot 3, Burlington Ontario
Client: Dawn Victoria Homes
Classification: _____
Original Signature: *ELL*
WWW.VCINC.CA

AT VIRTUAL CREATIONS INC. THE BEST EFFORT HAS BEEN MADE TO RECORD EXISTING BUILDING STRUCTURES AND PROPOSED A COMPREHENSIVE SET OF CONSTRUCTION DRAWINGS. HOWEVER, THERE ARE AREAS AT THE TIME OF DESIGNING THAT ARE UNAVAILABLE OR INACCESSIBLE. WITH PROPER CO-ORDINATION AND VERIFICATION OF ALL INFORMATION, THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DRAWINGS. THE CLIENT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. VIRTUAL CREATIONS INC. SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES OR SUBSTITUTIONS FOR REVIEW BEFORE COMMENCING CONSTRUCTION. ALL DESIGNS AND DRAWINGS ARE THE SOLE PROPERTY AND COPYRIGHT OF VIRTUAL CREATIONS INC. ANY REPRODUCTIONS MUST BE AUTHORIZED BY VIRTUAL CREATIONS INC OR PURCHASED THROUGH VIRTUAL CREATIONS INC DIRECTLY.
ISSUED: Feb 11, 2021

Second Floor Plan (1472.36 Sq. Ft.)
SCALE 1/4" = 1'-0"

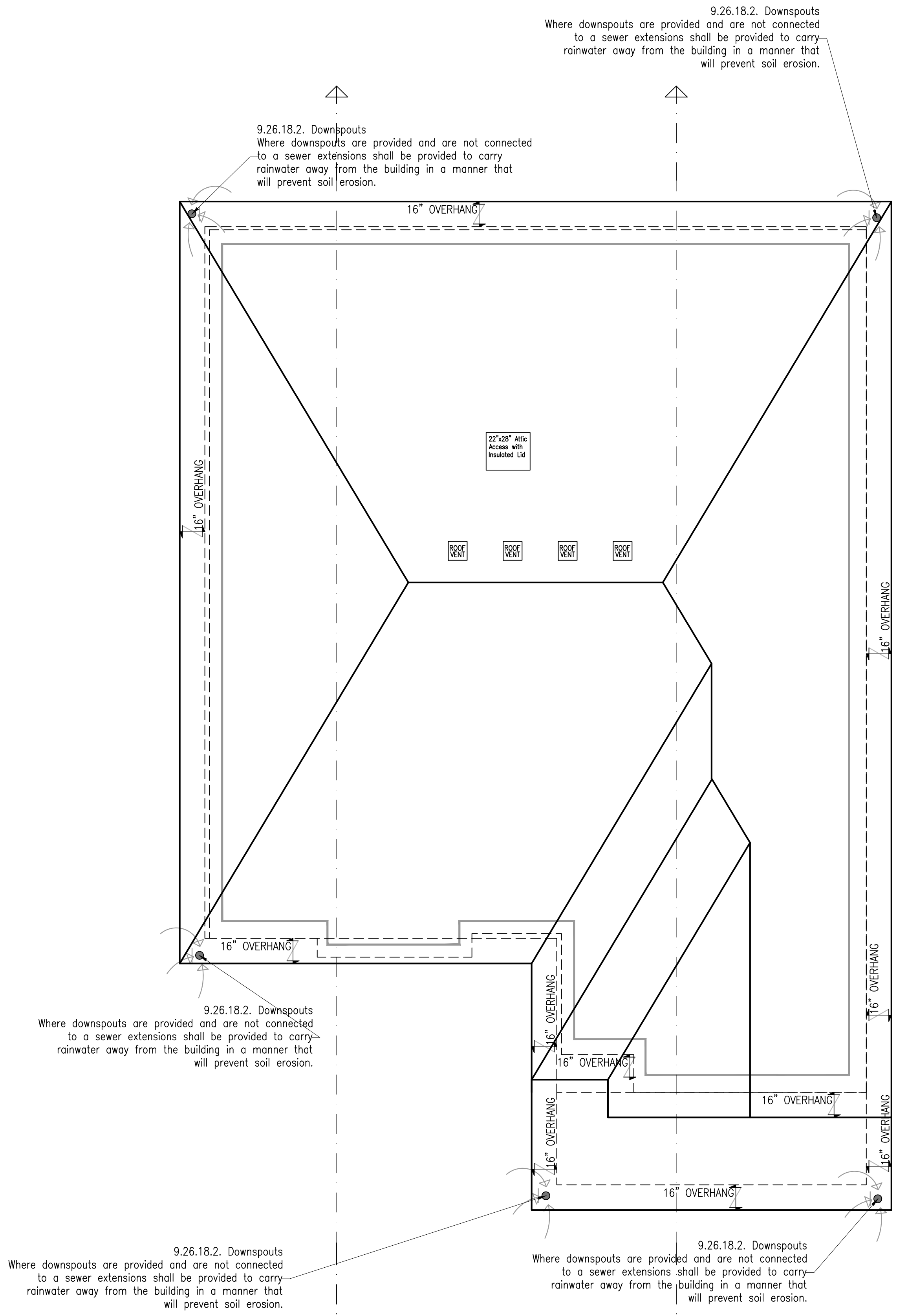


THE COURTLAND (Lot 03) (#2445)

VIRTUAL CREATIONS INC. PROJECT: Stonehaven Lot 3, Burlington Ontario
 (905) 481 1153 BCIN No. 28844 Client: Dawn Victoria Homes Classification:
 ERIC CANTON BCIN#25135 Original Signature: ELL
WWW.VCINC.CA

AT VIRTUAL CREATIONS INC. THE BEST EFFORT HAS BEEN MADE TO RECORD EXISTING BUILDING STRUCTURES AND PROPOSED A COMPREHENSIVE SET OF CONSTRUCTION DRAWINGS. HOWEVER, THERE ARE AREAS AT THE TIME OF DESIGNING THAT ARE UNAVAILABLE OR INACCESSIBLE. WITH PROPER COORDINATION WITH THE CLIENT, THE DESIGNER HAS MADE THE BEST EFFORT TO DETERMINE THE LOCATION OF EXISTING STRUCTURES AND ELEMENTS SUCH AS ROOF TRUSSES AND ENGINEERED FLOOR JOIST TO VIRTUAL CREATIONS INC. TO REVIEW PRIOR TO FABRICATION. DETERMINE LOCATIONS OF EXISTING SERVICES. INFORM VIRTUAL CREATIONS INC. OF ANY CHANGES, DISCREPANCIES OR SUBSTITUTIONS FOR REVIEW BEFORE COMMENCING CONSTRUCTION. ALL DESIGNS AND DRAWINGS ARE THE SOLE PROPERTY AND COPYRIGHT OF VIRTUAL CREATIONS INC. ANY REPRODUCTIONS MUST BE AUTHORIZED BY VIRTUAL CREATIONS INC OR PURCHASED THROUGH VIRTUAL CREATIONS INC DIRECTLY.

ISSUED: Feb 11, 2021



9.19.1.2. Roof Venting requirements:
 Total roof area = 1330.8 OBC ratio = 300.0
 Total OBC venting area requirements = 4 sq. ft.
 50% of vent req. to be in soffit = 2 sq. ft.
 Number of vents in roof space = 2
 VCINC recommends = 4

OBC 9.26.18 – Downspouts
 Any and all downspouts must direct water way from the building without causing soil erosion. But also not permit any water to leave the property or to flow onto public property which may cause flooding or freezing and present a condition which could cause a slip, fall or property damage.

Commitment to General Review
 To plans examiner, please indicate here if a commitment to general review will be required for any item submitted here on this sheet

Yes No

Part 4 Loads used
 20lb Dead Load
 40lb Live Load (interior)
 50lb Live Load (exterior)
 32lb Snow Load
 10lb Wind Load

Deflection limits
 L/425 Floors (interior)
 L/360 Floors (exterior)

Notes: Engineering Drawings
 These drawings shall be read in association with the engineering floor joist and specifications as well as the engineering truss layout and specification.

OBC 9.10.19.3 – Smoke Alarms
 (Renovations Only)
 Existing smoke alarms are acceptable, however, if the scope of work involves renovating existing bedrooms, changing room uses from a non bedroom use to proposed bedroom use or an addition which includes a bedroom many requirements of 9.10.19.3 would apply including being interconnected, hardwired and with visual notification. If a smoke alarm is required it will be noted on drawings

DIMENSION NOTE:
 2019.12.05 – There are different ways of dimension architectural floors, what follows is an explanation of the why interior walls are dimensioned as 4" or 6" vs other methods.
 Some Architectural drawings chose to dimension the rough wood stud framing. However this would create a lot fractioned dimensions on the plans and would require the framer to account for the 1/2" drywall material in some conditions like bathroom tubs and stair wells.
 Some Architectural drawings chose to dimension the finished wall thickness. However this would create a lot fractioned dimensions as well.
 These Architectural set of drawings chose to dimension interior walls to a round 4" or 6" dimension. We feel this is the cleanest dimension as they do not have fractions, and at most produce a 1/4" error which isn't typically an issue. Further we full appreciate that we can not ask trades in the field to measure to 1/4" accuracies nor to we assume that as built construction could hold those tolerances.

NOTE TO TRUSS MANUFACTURE:
 2019.11.27 – Manufactured Items and Materials
 All materials like a truss, floor joist, beams, etc. **CAN NOT** be designed, put into production or purchased for installation based upon these drawings alone.
ALL dimensions need to be verified during construction and before the material is purchased, ordered or put into production. The manufacture, like the truss manufacturer, builder, contract or framer **MUST** review all relevant dimensions and inform Virtual Creations and the manufacture of any discrepancies. At the minimum the client must at least contact Virtual Creation to review the as build condition before purchasing, ordering or putting into production any and all materials.

FAILURE to verify these dimensions will absolve Virtual Creations of any responsibility of errors or discrepancies in our plans. By paying this invoice you agree to this requirement and condition.

Second Floor Plan (1472.36 Sq. Ft.)
 SCALE 1/4" = 1'-0"

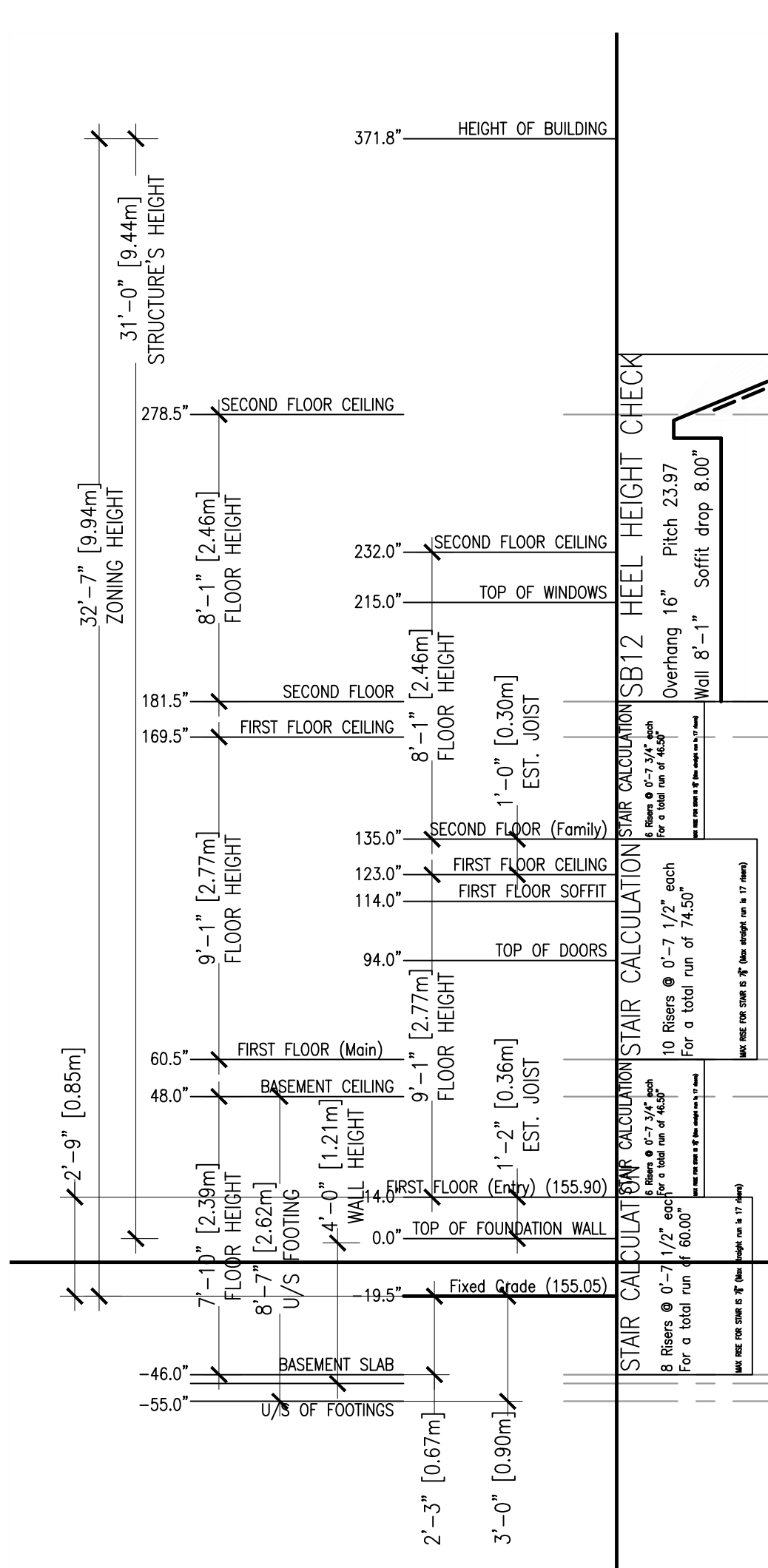
PROJECT: Stonehaven Lot 3, Burlington Ontario

VIRTUAL CREATIONS INC. PROJECT No: 2020-560
 (905) 481 1153 BCIN No. 288444
 Client: Dawn Victoria Homes Classification:
 Original Signature: ELT
WWW.VCINC.CA

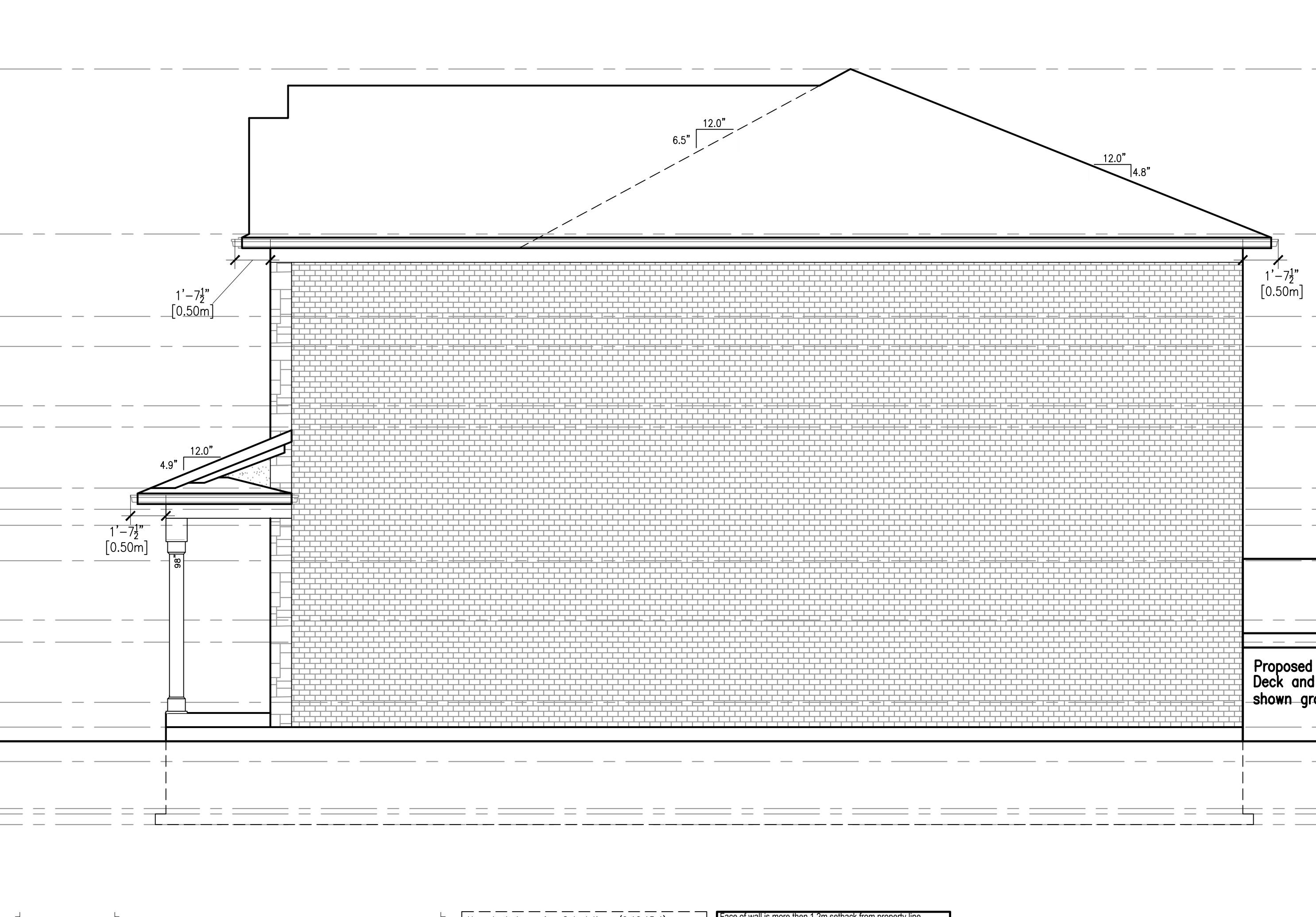
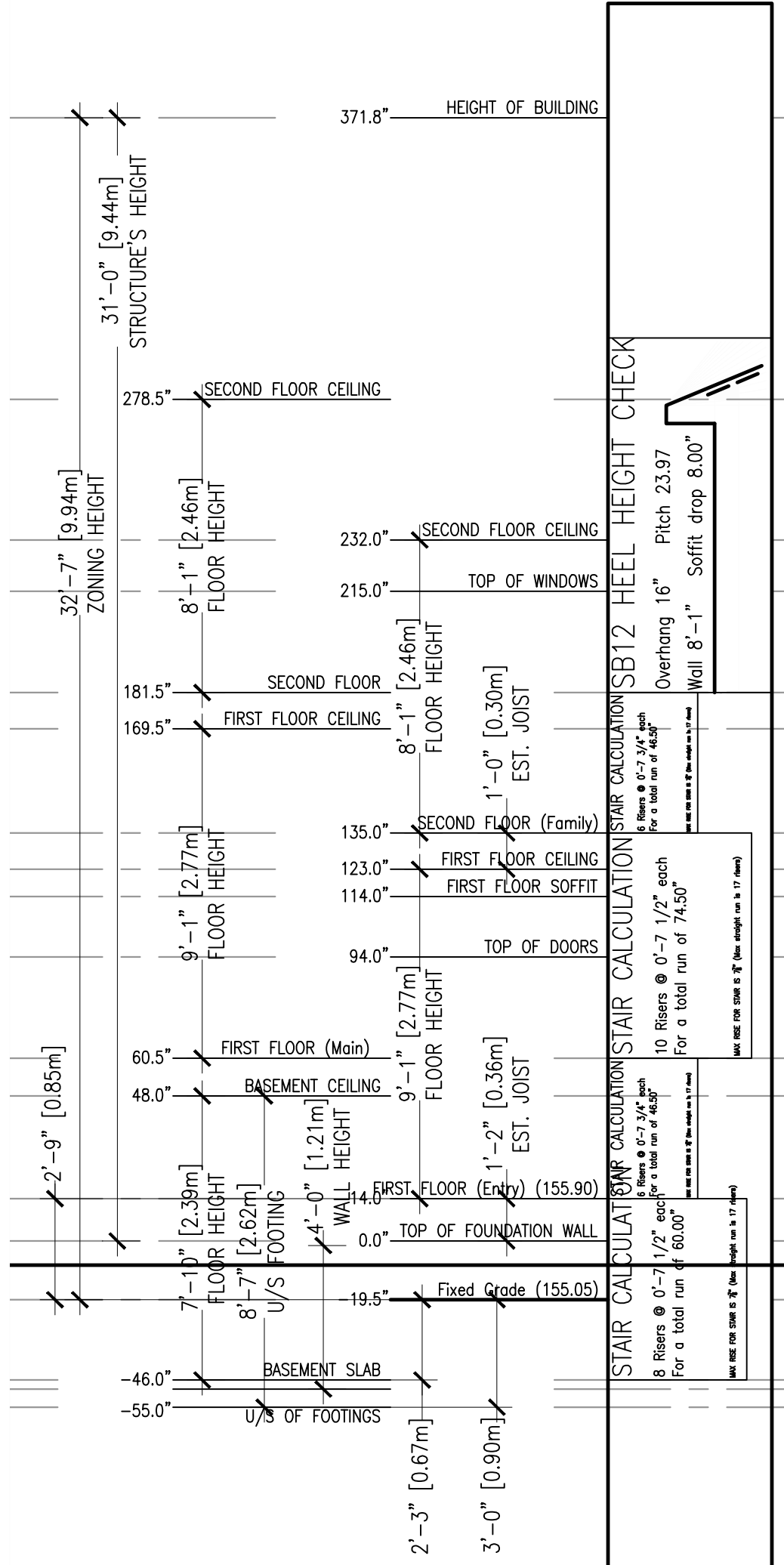
AT VIRTUAL CREATIONS INC. THE BEST EFFORT HAS BEEN MADE TO RECORD EXISTING BUILDING STRUCTURES AND PROPOSED A COMPREHENSIVE SET OF CONSTRUCTION DRAWINGS. HOWEVER, THERE ARE AREAS AT THE TIME OF DESIGNING THAT ARE UNAVAILABLE OR INACCESSIBLE. WITH PROPER CO-ORDINATION OF THE CLIENT, THE ARCHITECTURAL CONSULTING SERVICES WILL BE PROVIDED TO IDENTIFY AND CORRECT ANY DISCREPANCIES. DETERMINE LOCATIONS OF EXISTING SERVICES, INFORM VIRTUAL CREATIONS INC OF ANY CHANGES, DISCREPANCIES OR SUBSTITUTIONS FOR REVIEW BEFORE COMMENCING CONSTRUCTION. ALL DESIGNS AND DRAWINGS ARE THE SOLE PROPERTY AND COPYRIGHT OF VIRTUAL CREATIONS INC. ANY REPRODUCTIONS MUST BE AUTHORIZED BY VIRTUAL CREATIONS INC OR PURCHASED THROUGH VIRTUAL CREATIONS INC DIRECTLY.

ISSUED Feb 11 2021

THE COURTLAND (Lot 03) (#2445)



Front Elevation (B)
SCALE 1/4" = 1'-0"



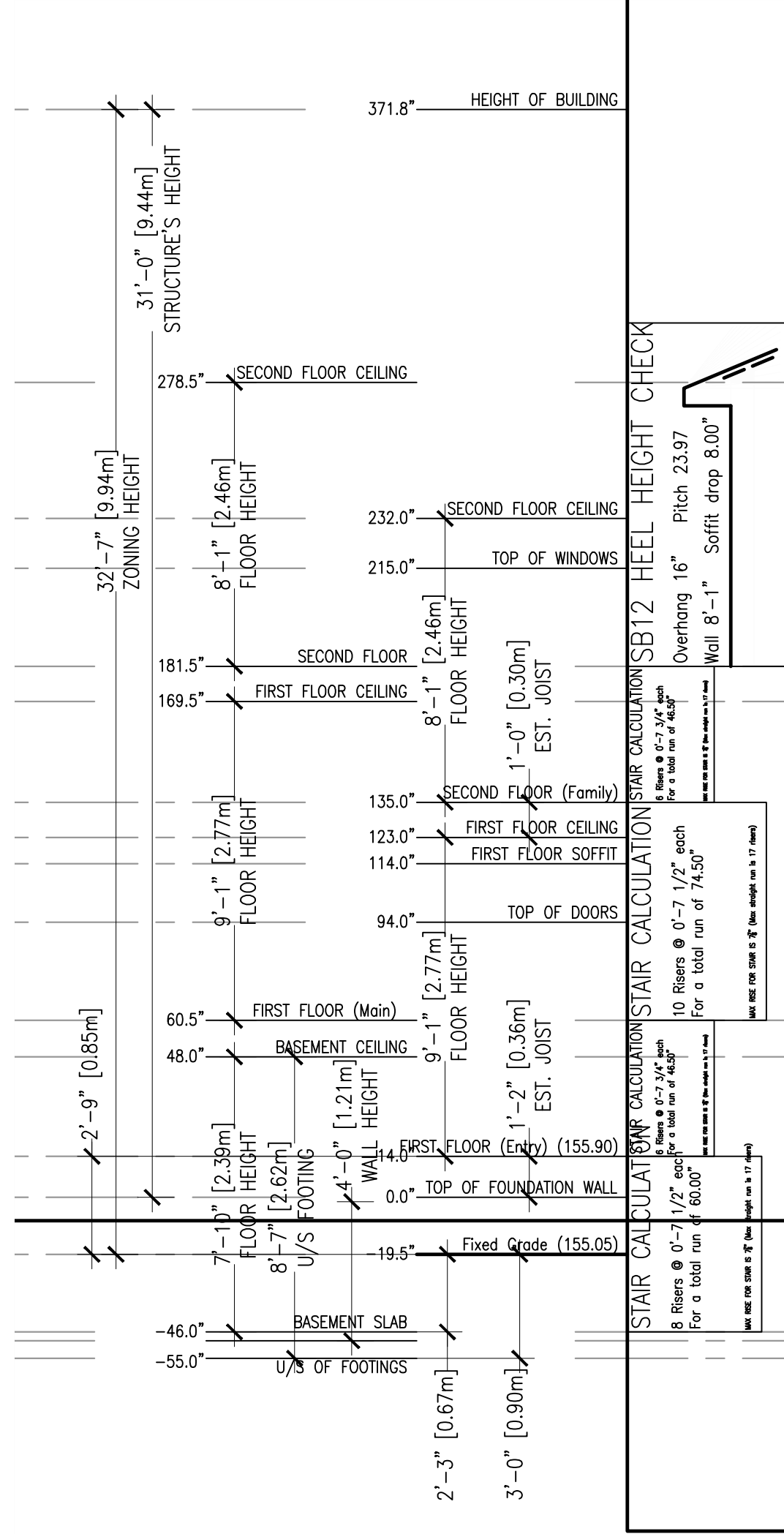
Right Side Elevation
SCALE 1/4" = 1'-0"

Unprotected opening Calculations (9.10.15.4)
Wall face area = 138.3 sq. ft.
Openings = 0.0 sq. ft.
Percentage = 0.0%
Max. allowed = 0%
Wall area assumes smallest amount of wall area regardless of grading conditions. And glazing calculations include entire basement window.

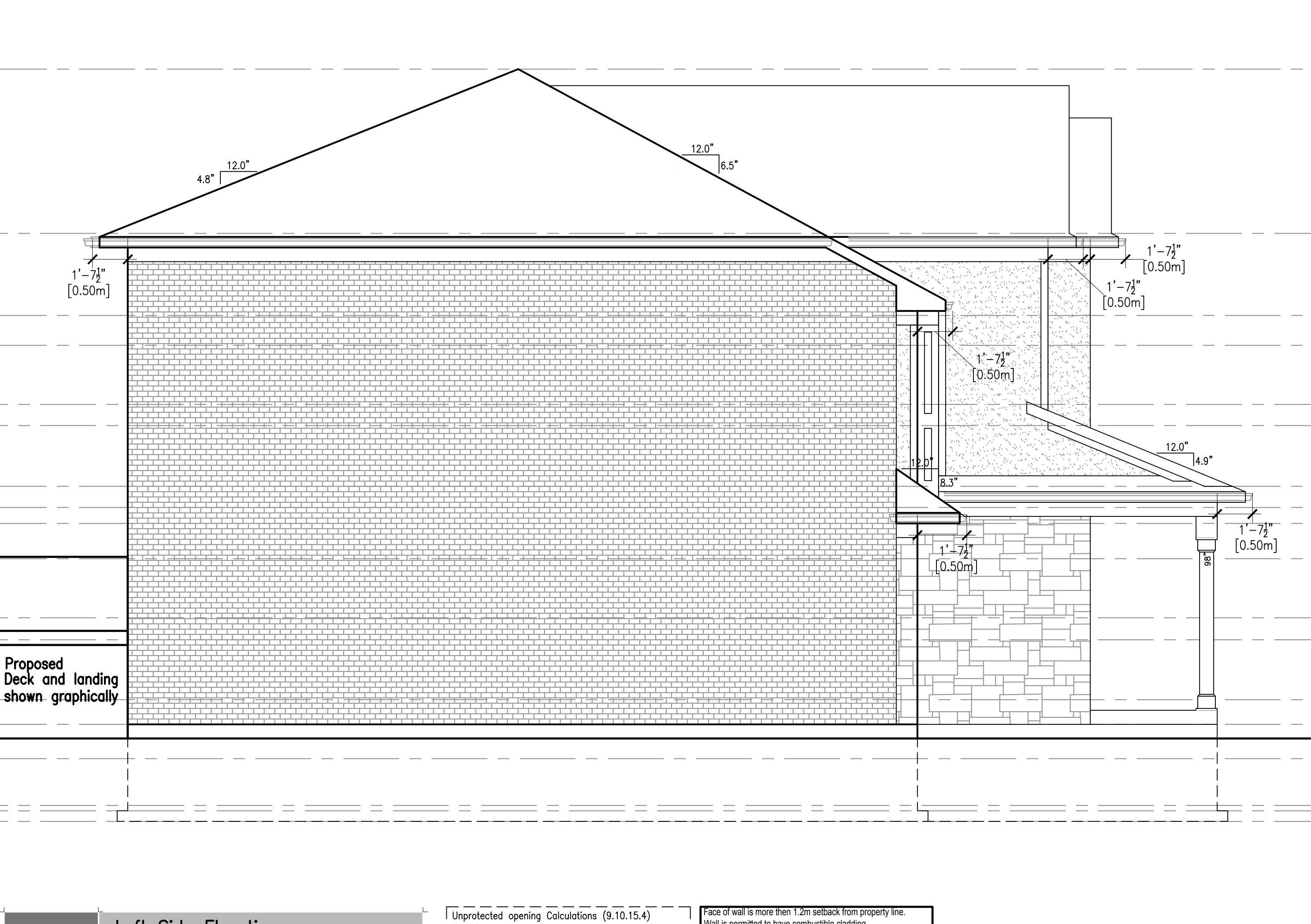
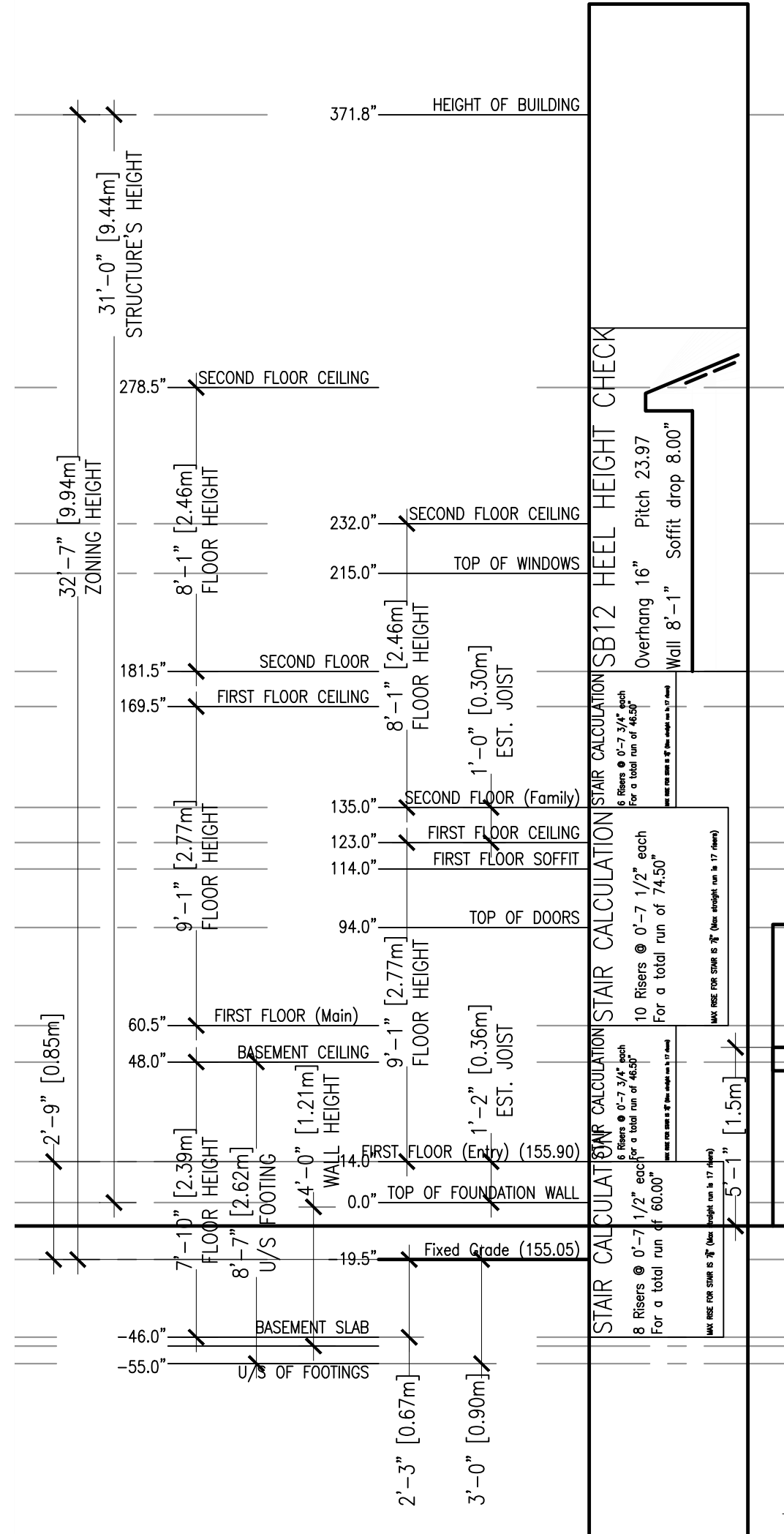
Face of wall is more than 1.2m setback from property line.
Wall is permitted to have combustible cladding.
Wall is permitted to be combustible construction.

Window Schedule							
TAG	SIZE	SB12	OPERATOR	LOCATION	HEIGHT	GRILL	GLAZING
01A	24"x12"	2.0	FIXED	NORTH ELEV	106" ATFW	NONE	Glazing 0.7
01B	24"x44"	7.3	FIXED	NORTH ELEV	94" ATFW	NONE	Glazing 4.7
02A	60"x12"	5.0	FIXED	NORTH ELEV	106" ATFW	NONE	Glazing 2.2
02B	30"x80"	16.7	3/4 GLAZED	NORTH ELEV	94" ATFW	NONE	Glazing 6.3
02C	30"x80"	16.7	3/4 GLAZED	NORTH ELEV	94" ATFW	NONE	Glazing 6.3
03A	24"x12"	2.0	FIXED	NORTH ELEV	106" ATFW	NONE	Glazing 0.7
03B	24"x44"	7.3	FIXED	NORTH ELEV	94" ATFW	NONE	Glazing 4.7
04A	20"x12"	1.7	FIXED	NORTH ELEV	262" ATFW	NONE	Glazing 0.6
04B	40"x28"	7.8	ARCHED	NORTH ELEV	278" ATFW	NONE	Glazing 5.2
04C	20"x12"	1.7	FIXED	NORTH ELEV	262" ATFW	NONE	Glazing 0.6
04D	20"x44"	6.1	CASEMENT	NORTH ELEV	250" ATFW	NONE	Glazing 3.7
04E	40"x44"	12.2	FIXED	NORTH ELEV	250" ATFW	NONE	Glazing 7.4
04F	20"x44"	6.1	CASEMENT	NORTH ELEV	250" ATFW	NONE	Glazing 3.7
05A	24"x68"	11.3	CASEMENT	NORTH ELEV	226" ATFW	NONE	Glazing 7.7
05B	24"x68"	11.3	FIXED	NORTH ELEV	226" ATFW	NONE	Glazing 7.7
05C	24"x68"	11.3	CASEMENT	NORTH ELEV	226" ATFW	NONE	Glazing 7.7
06A	30"x12"	2.5	FIXED	NORTH ELEV	153" ATFW	NONE	Glazing 1.0
06B	30"x44"	9.2	CASEMENT	NORTH ELEV	141" ATFW	NONE	Glazing 5.3
07B	72"x12"	6.0	FIXED	NORTH ELEV	153" ATFW	NONE	Glazing 2.7
08A	24"x12"	2.0	FIXED	NORTH ELEV	153" ATFW	NONE	Glazing 0.7
08B	24"x12"	2.0	FIXED	NORTH ELEV	153" ATFW	NONE	Glazing 0.7
08C	24"x12"	2.0	FIXED	NORTH ELEV	153" ATFW	NONE	Glazing 0.7
08D	24"x12"	2.0	FIXED	NORTH ELEV	153" ATFW	NONE	Glazing 0.7
08E	24"x68"	11.3	CASEMENT	NORTH ELEV	141" ATFW	NONE	Glazing 7.7
08F	24"x68"	11.3	FIXED	NORTH ELEV	141" ATFW	NONE	Glazing 7.7
08G	24"x68"	11.3	FIXED	NORTH ELEV	141" ATFW	NONE	Glazing 7.7
08H	24"x68"	11.3	CASEMENT	NORTH ELEV	141" ATFW	NONE	Glazing 7.7
09A	24"x36"	6.0	CASEMENT	NORTH ELEV	42" ATFW	NONE	Glazing 3.7
09B	24"x36"	6.0	FIXED	NORTH ELEV	42" ATFW	NONE	Glazing 3.7
09C	24"x36"	6.0	FIXED	NORTH ELEV	42" ATFW	NONE	Glazing 3.7
10A	24"x56"	9.3	CASEMENT	NORTH ELEV	262" ATFW	NONE	Glazing 6.2
10B	24"x56"	9.3	FIXED	NORTH ELEV	262" ATFW	NONE	Glazing 6.2
10C	24"x56"	9.3	FIXED	NORTH ELEV	262" ATFW	NONE	Glazing 6.2
11A	24"x56"	9.3	CASEMENT	NORTH ELEV	262" ATFW	NONE	Glazing 6.2
11B	24"x56"	9.3	FIXED	NORTH ELEV	262" ATFW	NONE	Glazing 6.2
11C	24"x56"	9.3	FIXED	NORTH ELEV	262" ATFW	NONE	Glazing 6.2
12A	24"x12"	2.0	FIXED	NORTH ELEV	106" ATFW	NONE	Glazing 0.7
12B	24"x44"	7.3	FIXED	NORTH ELEV	94" ATFW	NONE	Glazing 4.7
13A	60"x12"	5.0	FIXED	NORTH ELEV	106" ATFW	NONE	Glazing 2.2
13B	30"x80"	16.7	3/4 GLAZED	NORTH ELEV	94" ATFW	NONE	Glazing 6.3
13C	30"x80"	16.7	3/4 GLAZED	NORTH ELEV	94" ATFW	NONE	Glazing 6.3
14A	24"x12"	2.0	FIXED	NORTH ELEV	106" ATFW	NONE	Glazing 0.7
14B	24"x44"	7.3	FIXED	NORTH ELEV	94" ATFW	NONE	Glazing 4.7
15A	24"x68"	11.3	CASEMENT	NORTH ELEV	226" ATFW	NONE	Glazing 7.7
15B	24"x68"	11.3	FIXED	NORTH ELEV	226" ATFW	NONE	Glazing 7.7
15C	24"x68"	11.3	CASEMENT	NORTH ELEV	226" ATFW	NONE	Glazing 7.7
16A	24"x44"	7.3	FIXED	NORTH ELEV	262" ATFW	NONE	Glazing 4.7
17A	24"x68"	11.3	CASEMENT	NORTH ELEV	262" ATFW	NONE	Glazing 7.7
17B	24"x68"	11.3	FIXED	NORTH ELEV	262" ATFW	NONE	Glazing 7.7
18A	24"x12"	2.0	FIXED	NORTH ELEV	106" ATFW	NONE	Glazing 0.7
18B	24"x44"	7.3	FIXED	NORTH ELEV	94" ATFW	NONE	Glazing 4.7
19A	60"x12"	5.0	FIXED	NORTH ELEV	106" ATFW	NONE	Glazing 2.2
19B	12"x80"	6.7	FIXED	NORTH ELEV	94" ATFW	NONE	Glazing 3.1
19C	36"x80"	16.7	3/4 GLAZED	NORTH ELEV	94" ATFW	NONE	Glazing 9.0
19D	12"x80"	6.7	FIXED	NORTH ELEV	94" ATFW	NONE	Glazing 3.1
20A	24"x12"	2.0	FIXED	NORTH ELEV	106" ATFW	NONE	Glazing 0.7
20B	24"x44"	7.3	FIXED	NORTH ELEV	94" ATFW	NONE	Glazing 4.7
22A	24"x68"	11.3	CASEMENT	NORTH ELEV	225" ATFW	NONE	Glazing 7.7
22B	24"x68"	11.3	FIXED	NORTH ELEV	225" ATFW	NONE	Glazing 7.7
22C	24"x68"	11.3	CASEMENT	NORTH ELEV	225" ATFW	NONE	Glazing 7.7
23A	24"x56"	9.3	CASEMENT	NORTH ELEV	262" ATFW	NONE	Glazing 6.2
23B	24"x56"	9.3	FIXED	NORTH ELEV	262" ATFW	NONE	Glazing 6.2
23C	24"x56"	9.3	FIXED	NORTH ELEV	262" ATFW	NONE	Glazing 6.2
7A	70"x80"	32.0	Patio Slider	NORTH ELEV	143" ATFW	NONE	Glazing 32.0
		539.5000					

PROJECT: Stonehaven Lot 3, Burlington Ontario
 CLIENT: Dawn Victoria Homes
 CLASSIFICATION: Residential
 ORIGINAL SIGNATURE: [Signature]
 WWW.VCINC.CA
 VIRTUAL CREATIONS INC. (905) 481 1153 BCIN No. 28844
 ERIC CANTON BCIN#25135
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 ISSUED: Feb 11, 2021



Rear Elevation
SCALE 1/4" = 1'-0"



Left Side Elevation
SCALE 1/4" = 1'-0"

Unprotected opening Calculations (9.10.15.4)
Wall face area = 138.3 sq. ft.
Openings = 0.0 sq. ft.
Percentage = 0.0%
Max allowed = 0%
Wall area assumes smallest amount of wall area regardless of grading conditions. Add glazing calculations include entire basement window regardless of the window to below grade or not.

Face of wall is more than 1.2m setback from property line.
Wall is permitted to have combustible cladding.
Wall is permitted to be combustible construction.

Window Schedule							
TAG	SIZE	SB12	OPERATOR	LOCATION	HEIGHT	CRILL	GLAZING
01A	24"x12"	2.0	FIXED	NORTH ELEV	106" AFW	NONE	Glazing 0.7
01B	24"x44"	7.3	FIXED	NORTH ELEV	94" AFW	NONE	Glazing 4.7
02A	60"x12"	5.0	FIXED	NORTH ELEV	106" AFW	NONE	Glazing 2.2
02B	30"x80"	16.7	3/4 GLAZED	NORTH ELEV	94" AFW	NONE	Glazing 6.3
02C	30"x80"	16.7	3/4 GLAZED	NORTH ELEV	94" AFW	NONE	Glazing 6.3
03A	24"x12"	2.0	FIXED	NORTH ELEV	105" AFW	NONE	Glazing 0.7
03B	24"x44"	7.3	FIXED	NORTH ELEV	94" AFW	NONE	Glazing 4.7
04A	20"x12"	1.7	FIXED	NORTH ELEV	262" AFW	NONE	Glazing 0.8
04B	40"x28"	7.8	ARCHED	NORTH ELEV	278" AFW	NONE	Glazing 5.2
04C	20"x12"	1.7	FIXED	NORTH ELEV	262" AFW	NONE	Glazing 0.8
04D	20"x44"	6.1	CASEMENT	NORTH ELEV	250" AFW	NONE	Glazing 3.7
04E	40"x44"	12.2	FIXED	NORTH ELEV	250" AFW	NONE	Glazing 9.0
04F	20"x44"	6.1	CASEMENT	NORTH ELEV	250" AFW	NONE	Glazing 3.7
05A	24"x68"	11.3	CASEMENT	NORTH ELEV	226" AFW	NONE	Glazing 7.7
05B	24"x68"	11.3	FIXED	NORTH ELEV	226" AFW	NONE	Glazing 7.7
05C	24"x68"	11.3	CASEMENT	NORTH ELEV	226" AFW	NONE	Glazing 7.7
06A	30"x12"	2.5	FIXED	NORTH ELEV	153" AFW	NONE	Glazing 1.0
06B	30"x44"	9.2	CASEMENT	NORTH ELEV	141" AFW	NONE	Glazing 6.3
07B	72"x12"	6.0	FIXED	NORTH ELEV	153" AFW	NONE	Glazing 2.7
08A	24"x12"	2.0	FIXED	NORTH ELEV	153" AFW	NONE	Glazing 0.7
08B	24"x12"	2.0	FIXED	NORTH ELEV	153" AFW	NONE	Glazing 0.7
08C	24"x12"	2.0	FIXED	NORTH ELEV	153" AFW	NONE	Glazing 0.7
08D	24"x12"	2.0	FIXED	NORTH ELEV	153" AFW	NONE	Glazing 0.7
08E	24"x68"	11.3	CASEMENT	NORTH ELEV	141" AFW	NONE	Glazing 7.7
08F	24"x68"	11.3	FIXED	NORTH ELEV	141" AFW	NONE	Glazing 7.7
08G	24"x68"	11.3	FIXED	NORTH ELEV	141" AFW	NONE	Glazing 7.7
08H	24"x68"	11.3	CASEMENT	NORTH ELEV	141" AFW	NONE	Glazing 7.7
09A	24"x36"	6.0	CASEMENT	NORTH ELEV	42" AFW	NONE	Glazing 3.7
09B	24"x36"	6.0	FIXED	NORTH ELEV	42" AFW	NONE	Glazing 3.7
09C	24"x36"	6.0	FIXED	NORTH ELEV	42" AFW	NONE	Glazing 3.7
10A	24"x56"	9.3	CASEMENT	NORTH ELEV	262" AFW	NONE	Glazing 6.2
10B	24"x56"	9.3	FIXED	NORTH ELEV	262" AFW	NONE	Glazing 6.2
10C	24"x56"	9.3	FIXED	NORTH ELEV	262" AFW	NONE	Glazing 6.2
11A	24"x56"	9.3	CASEMENT	NORTH ELEV	262" AFW	NONE	Glazing 6.2
11B	24"x56"	9.3	FIXED	NORTH ELEV	262" AFW	NONE	Glazing 6.2
11C	24"x56"	9.3	FIXED	NORTH ELEV	262" AFW	NONE	Glazing 6.2
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13A	60"x12"	5.0	FIXED	NORTH ELEV	105" AFW	NONE	Glazing 2.2
13B	30"x80"	16.7	3/4 GLAZED	NORTH ELEV	94" AFW	NONE	Glazing 6.3
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14A	24"x12"	2.0	FIXED	NORTH ELEV	106" AFW	NONE	Glazing 0.7
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15A	24"x68"	11.3	CASEMENT	NORTH ELEV	226" AFW	NONE	Glazing 7.7
15B	24"x68"	11.3	FIXED	NORTH ELEV	226" AFW	NONE	Glazing 7.7
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17B	24"x68"	11.3	FIXED	NORTH ELEV	262" AFW	NONE	Glazing 7.7
18A	24"x12"	2.0	FIXED	NORTH ELEV	105" AFW	NONE	Glazing 0.7
18B	24"x44"	7.3	FIXED	NORTH ELEV	94" AFW	NONE	Glazing 4.7
19A	60"x12"	5.0	FIXED	NORTH ELEV	106" AFW	NONE	Glazing 2.2
19B	12"x80"	6.7	FIXED	NORTH ELEV	94" AFW	NONE	Glazing 3.1
19C	36"x80"	16.7	3/4 GLAZED	NORTH ELEV	94" AFW	NONE	Glazing 9.0
19D	12"x80"	6.7	FIXED	NORTH ELEV	94" AFW	NONE	Glazing 3.1
20A	24"x12"	2.0	FIXED	NORTH ELEV	105" AFW	NONE	Glazing 0.7
20B	24"x44"	7.3	FIXED	NORTH ELEV	94" AFW	NONE	Glazing 4.7
22A	24"x68"	11.3	CASEMENT	NORTH ELEV	225" AFW	NONE	Glazing 7.7
22B	24"x68"	11.3	FIXED	NORTH ELEV	225" AFW	NONE	Glazing 7.7
22C	24"x68"	11.3	CASEMENT	NORTH ELEV	225" AFW	NONE	Glazing 7.7
23A	24"x56"	9.3	CASEMENT	NORTH ELEV	262" AFW	NONE	Glazing 6.2
23B	24"x56"	9.3	FIXED	NORTH ELEV	262" AFW	NONE	Glazing 6.2
23C	24"x56"	9.3	FIXED	NORTH ELEV	262" AFW	NONE	Glazing 6.2
7A	70"x80"	32.0	Patio Slider	NORTH ELEV	143" AFW	NONE	Glazing 32.0
		539.5000					

PROJECT: Stonehaven Lot 3, Burlington Ontario
 PROJECT No: 2020-190
 BCIN No. 28844
 Client: Dawn Victoria Homes
 Classification: Original Signature: *ELT*
 WWW.VCINC.CA
 VIRTUAL CREATIONS INC. (905) 481 1153
 ERIC CANTON BCIN#25135
 ISSUED: Feb 11, 2021

THE COURTLAND (Lot 03) (#2445)